



City of Anaheim
PLANNING AND BUILDING DEPARTMENT

March 18, 2021

via email: mark.paone@mjpaia.com

MJP Architects
Attn: Mark Paone
58 Plaza Square, Suite F
Orange, CA 92866

**SUBJECT: ADMINISTRATIVE ADJUSTMENT NO. 2021-00456
843 SOUTH STATE COLLEGE AVENUE, ANAHEIM, CA
20% REDUCTION IN REQUIRED PARKING FOR A 449 SF.
EXPANSION TO AN EXISTING MEDICAL AND DENTAL
OFFICE BUILDING**

Dear Mr. Paone:

I am pleased to inform you that your application for the 20% reduction in the required parking for a 449 square foot expansion to an existing medical and dental office, designated as Administrative Adjustment No. 2021-00456, is hereby approved in accordance with Section 18.62.040.050 of the Anaheim Municipal Code and subject to the conditions and restrictions set forth at the end of this letter. If there are elements of this approval that you are concerned about, please contact me as soon as possible. This decision will become final on March 29, 2021 unless, pursuant to Section 18.60.135 of the Anaheim Municipal Code, a timely appeal is filed with the Planning Division. I will contact you in the event that this decision is appealed.

You may obtain building permits for the proposed addition upon the expiration of the time allowed for filing a notice of appeal, on or after March 29, 2021. Lisandro Orozco, Associate Planner, will continue to be your project manager for any questions you may have during the remainder of the process. Please feel free to contact him at (714) 765-5381 or lorozco@anaheim.net if you have any questions or concerns.

Sincerely,

Judy Dadant
Principal Planner

DECISION NO. ADJ2021-00456

This request for a 20% parking reduction (30 spaces required, 24 provided) for a 449 square foot expansion to an existing medical and dental office building has been approved. The subject property is zoned “C-G” (General Commercial), and is developed with a commercial building comprising of two commercial tenant spaces. Currently, a medical office occupies Suite A and a dental office occupies Suite B. The proposed adjustment is to enclose an existing breezeway between the two tenant spaces that will serve as an expansion to Suite A (medical office). The project includes interior tenant improvements to a small portion of Suite B (dental office) but no new square footage is proposed.

The Planning Director has made the Code required findings as listed and explained below:

1. *The adjustment is consistent with the purposes and intent of the Zoning Code.*

The existing medical and dental office require a minimum of 30 parking spaces while the parking lot will provide 24 parking spaces. The proposed addition will not increase the total number of treatment rooms between the medical and dental office as the improvements will primarily serve to improve circulation within Suite A (medical office). As the improvements will not increase the number of employees or the amount of customers, the applicant conducted a parking analysis of the current operations at the site and found the peak demand between both businesses to be 21 parking spaces, below the 24 parking spaces in the proposed parking lot. This parking analysis demonstrates that the peak demand for both the medical and dental office will be served by the 24 parking spaces. This is consistent with the purpose of parking and loading requirements to ensure the adequacy of parking and loading of passengers and goods.

2. *The same or similar result cannot be achieved by using provisions in the Zoning Code that do not require the adjustment.*

The project site will be in compliance with all development standards of the “C-G” (General Commercial) Zone, with the exception of the requested parking reduction. As indicated, in Finding No.1 above, the proposed parking reduction will be sufficient to accommodate the parking demand, based on the analysis provided by the applicant.

3. *The adjustment will not produce a result that is out of character or detrimental to the neighborhood.*

The adjustment will allow for the improvement of an existing commercial building occupied by two small businesses. The improvements proposed will maintain the commercial character of the westerly 800 block of South State College Boulevard, which contains a series of low-rise medical, retail, and restaurant uses and structures.

This Administrative Adjustment No. 2021-00456, for the property located at 843 South State College Boulevard, is hereby approved subject to the following conditions:

| No. | Conditions of Approval | Responsible for Monitoring |
|-----------------------|---|-----------------------------------|
| <i>GENERAL</i> | | |
| 1 | The subject property shall be developed substantially in accordance with plans and specifications submitted to the City of Anaheim by the applicant and which plans are on file with the Planning Division marked Exhibit A and as conditioned herein. | Planning Division |
| 2 | The medical (Suite A) and dental office (Suite B) must operate in accordance with the letter of operations in Exhibit A. | Planning Division |
| 3 | Any change in tenants occupying Suite A or Suite B, including ownership changes, that requires reduction in parking as approved under this administrative adjustment must submit an application for substantial conformance determination to the Planning Division to ensure conformance with the business operations and plans in Exhibit A. | Planning Division |
| 4 | The applicant must submit a request in writing to the Planning Division to terminate ADJ2017-00395. | Planning Division |
| 5 | A request for a change of address must be submitted to the Planning Division to update the addressing of the subject property for consistency with the plans in Exhibit A. | Planning Division |
| 6 | The appropriate building permits shall be obtained from the City of Anaheim for the proposed construction. | Building Department |

EXHIBIT A

SUITE A



Sandra
PARKER D.D.S. Inc.
Dental and Orthodontics

1/12/2021

Lisandro Orozco
City of Anaheim
Anaheim Planning Department | Associate planner
200 S Anaheim Blvd
Anaheim, CA 92805

Re: Clarification of Services Provided and Parking Needed at 843 S. State College Blvd.

Dear Mr. Orozco,

I am writing in response to your request for more information about our operations. We currently have a valid City of Anaheim Business License to operate as a medical office.

We are currently planning on a small addition to the medical suite (suite A). This addition will not increase the number of treatment rooms or patient in the office at one time. The addition will add support space for nursing and administration. The one treatment room that is being added replaces an existing treatment room that will be converted into a staff lounge shared with the dental office.

We typically have 5 staff members on-site at a time including doctors. There are only 4 parking stalls used due to carpooling.

We strategically schedule our patients in order to smoothly accommodate them with two clinicians treating patients concurrently. In our busiest of circumstances, we might anticipate a maximum of 3 patients at the same time. We anticipate no more than 2 stalls being needed to accommodate patients that are awaiting treatment.

We believe our parking needs are as follows:

| | |
|--------------------------------|----------|
| Staff a maximum of 4 stalls | 4 |
| Patients receiving treatment | 3 |
| Maximum number in waiting room | <u>2</u> |
| Total stalls Needed | 9 |

Our hours of operation are 8am-5pm Tuesday and Thursdays as well as Wednesday morning. We do not see patients on Mondays, Wednesday pm or Fridays. We operate a second office in West Covina and see Patients Monday, Wednesday and Fridays.

Thank you for taking the time to look over our application. If further information is needed please call my office (626) 965-2334 or contact our architect Mark Paone at (714) 633-7667 x 114 or via email.

Kindest regards,
Andy Keith, DC



843 S. State College Blvd. Anaheim Ca 92806

Phone 714-289-0421



Sandra
PARKER *D.D.S. Inc.*
Dental and Orthodontics

1/12/2021

Lisandro Orozco
City of Anaheim
Anaheim Planning Department | Associate planner
200 S Anaheim Blvd
Anaheim, CA 92805

Re: Clarification of Services Provided and Parking Needed at 843 S. State College Blvd.

Dear Mr. Orozco,

I am writing in response to your request for more information about our operations. Our operations remain unchanged since my letter to the Planning Department in January 2017. We remain a general dentistry office with (1) Dentist and (1) Hygienist work concurrently.

We typically have 6 staff members on-site at a time. If all 7 staff members (including the Dentist) are present, only 4-5 parking spaces will be occupied due to ride sharing and carpooling.

We strategically schedule our patients in order to smoothly accommodate them with one doctor. In our busiest of circumstances, we might anticipate a maximum of 3 dental patients and 1 hygienist patient in chairs at the same time. These circumstances are rare, as our office focuses on pediatrics. Typically, parents will bring multiple children for appointments at the same time. We anticipate no more than 3 stalls being needed to accommodate patients that are awaiting treatment (also rare).

We believe our parking needs are as follows:

| | |
|---|----------|
| Staff a maximum of 5 stalls | 5 |
| General Dentistry patients concurrently | 3 |
| Hygienist patient | 1 |
| Maximum number in waiting room | <u>3</u> |
| Total Stalls Needed | 12 |

Our hours of operation are 9 am – 6 pm M, T, W, TH. We do not see patients on Fridays.

Thank you for taking the time to look over our application. If further information is needed please do not hesitate to call my office at (714) 289-0421 or contact our architect Mark Paone at (714) 633- 7667 x 114 or via email.

Kindest regards,
Sandra L Parker D.D.S.



843 S. State College Blvd. Anaheim Ca 92806

Phone 714-289-0421

Peak Parking Analysis
 843 South State College Blvd., Anageim, CA

| | General Information | | | | | | | | Peak by Day of the Week | | | | |
|--------------------------|---|----------------------------------|---------------------|------------------|--|--|---------------------------------------|---------------------------|-------------------------|----|-----|----|-----|
| | Clinical Staff that see Patients Concurrently * | Number of Treatment & Exam Rooms | Hours of Operations | Days Operational | Peak Number of Patients who will be in the Suite at One Time <i>(i.e. do not include multiple people from the same car)</i> | Peak Number of Patients who will be in the Suite at One Time <i>(i.e. do not include multiple people from the same car)</i> | Number of Employees who Drive to Work | Total Cars Parked at Peak | Mon | Tu | Wed | Th | Fri |
| Suite A - Medical Office | 2 | 6** | 8am-5pm | Tue, Thur | 3 Receiving Treatment*** | Maximum of 2 waiting | 4 | 9 | 0 | 9 | 0 | 9 | 0 |
| Suite B - Dental Office | 2 | 9*** | 9am-6pm | M,T,W,TH | 3 Dental +1 Hygientist Patients*** | Maximum of 3 waiting | 5 | 12 | 12 | 12 | 12 | 12 | 0 |
| | | | | | | | | 21 | 12 | 21 | 12 | 21 | 0 |

* This includes include Dentail Assitants assisting Dentist as well as Nurses assiting Doctors or Nurse Prationers at the same time

** The 6 rooms are for 6 different types of treatments. Clinical staff will only be treating 3 patients at a time.

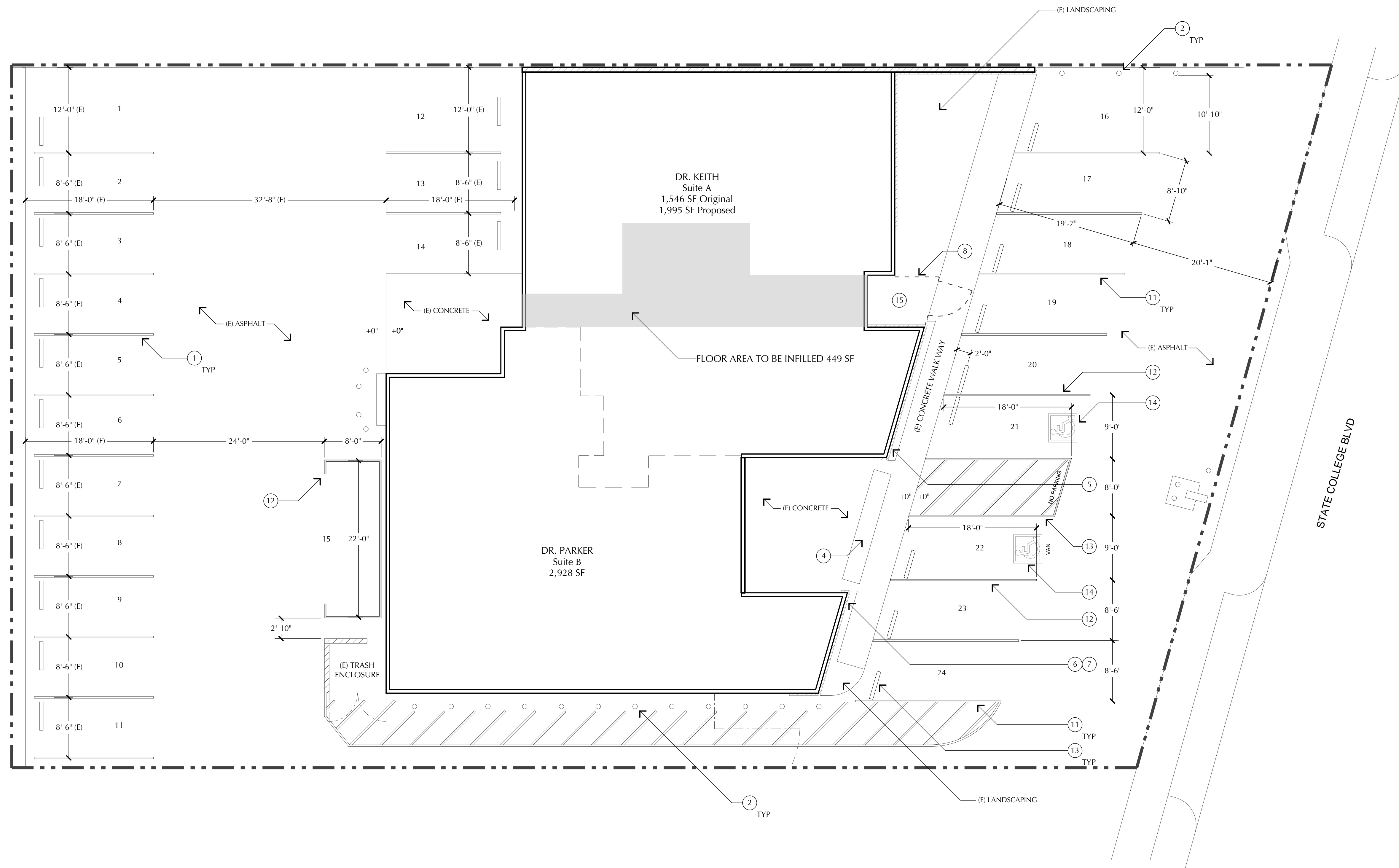
*** The rooms are set up for different types of proceedures

Medical Office Building Remodel

843 S State College Blvd, Anaheim, CA 92806



58 PLAZA SQUARE, SUITE F, ORANGE, CA 92866 (714) 633-7667



NOTE:
FRONT PARKING LOT IS AT 75 DEGREES

SITE PLAN KEYNOTES

- 1 EXISTING PARKING STRIPING TO REMAIN
- 2 EXISTING BOLLARD TO REMAIN
- 3 EXISTING WHEEL STOP TO REMAIN, RELOCATE AS REQUIRED
- 4 EXISTING TRUNCATED DOMES TO BE REMOVED AND REPLACED WITH NEW
- 5 EXISTING WALL MOUNTED ACCESSIBLE PARKING SIGN TO REMAIN
- 6 EXISTING WALL MOUNTED ACCESSIBLE VAN PARKING SIGN TO REMAIN
- 7 EXISTING WALL MOUNTED TOW-AWAY PARKING SIGN TO REMAIN
- 8 REMOVE EXISTING GATE AND FENCE, PATCH AND REPAIR WALLS AS REQUIRED
- 9 REMOVE EXISTING GATE AND FENCE, PATCH AND REPAIR WALLS AS REQUIRED
- 11 RESTRIPE EAST SIDE TO ADD (1) ADDITIONAL STALL. 3" WIDE WHITE STRIPES. RELOCATE WHEEL STOPS AS REQUIRED
- 12 3" WIDE BLUE STRIPES AT ACCESSIBLE PARKING
- 13 3" WIDE BLUE BORDER WITH 3" WIDE WHITE STRIPES AT 36" OC AND PROVIDE 12" HIGH WHITE LETTERS STATING "NO PARKING" AT ACCESSIBLE PARKING ACCESS AISLE
- 14 PROVIDE ISA PARKING EMBLEM. AT VAN ACCESSIBLE STALL PROVIDE 12" HIGH WHITE LETTERS STATING "VAN"
- 15 NEW LANDSCAPE AREA MATCH EXISTING ADJACENT. DEMOLISH EXISTING CONCRETE PAVING.

OVERALL BUILDING DATA

| | |
|-----------------------------------|--------------|
| BUILDING SQUARE FOOTAGE EXISTING: | 4,474 |
| BUILDING SQUARE FOOTAGE ADDED: | 449 |
| TOTAL SQUARE FOOTAGE: | 4,923 |

ZONING APPROVAL DATA

| | |
|--|--------------------|
| SUITE A - As Approved On 1-24-17 Administrative Permit # 2017-00395 (Medical Use): | AREA 2,928 sf |
| SUITE B - As Approved On 1-24-17 Administrative Permit # 2017-00395 (Retail Use): Additional Square Footage being added: | 1,546 sf 449 sf |
| Suite B Total Proposed Square Footage: | 1,995 sf |

PARKING DATA

| | |
|--|-----------|
| SUITE A REQUIRED PARKING: (With Current Administrative Approval) | 12 |
| SUITE B REQUIRED PARKING - Retail use: (At Time of Previous Approval) | 11 |
| 12 Stalls (Medical Use) (Medical Use @ 6 Stalls/1,000 sf) | |
| CURRENTLY APPROVED PARKING STALLS: | 21 |
| CURRENTLY APPROVED ACCESSIBLE PARKING: | 2 |
| ADDED PARKING STALLS AFTER RESTRIPEING: | 1 |
| TOTAL PARKING STALLS PROVIDED: | 24 |

Site Plan

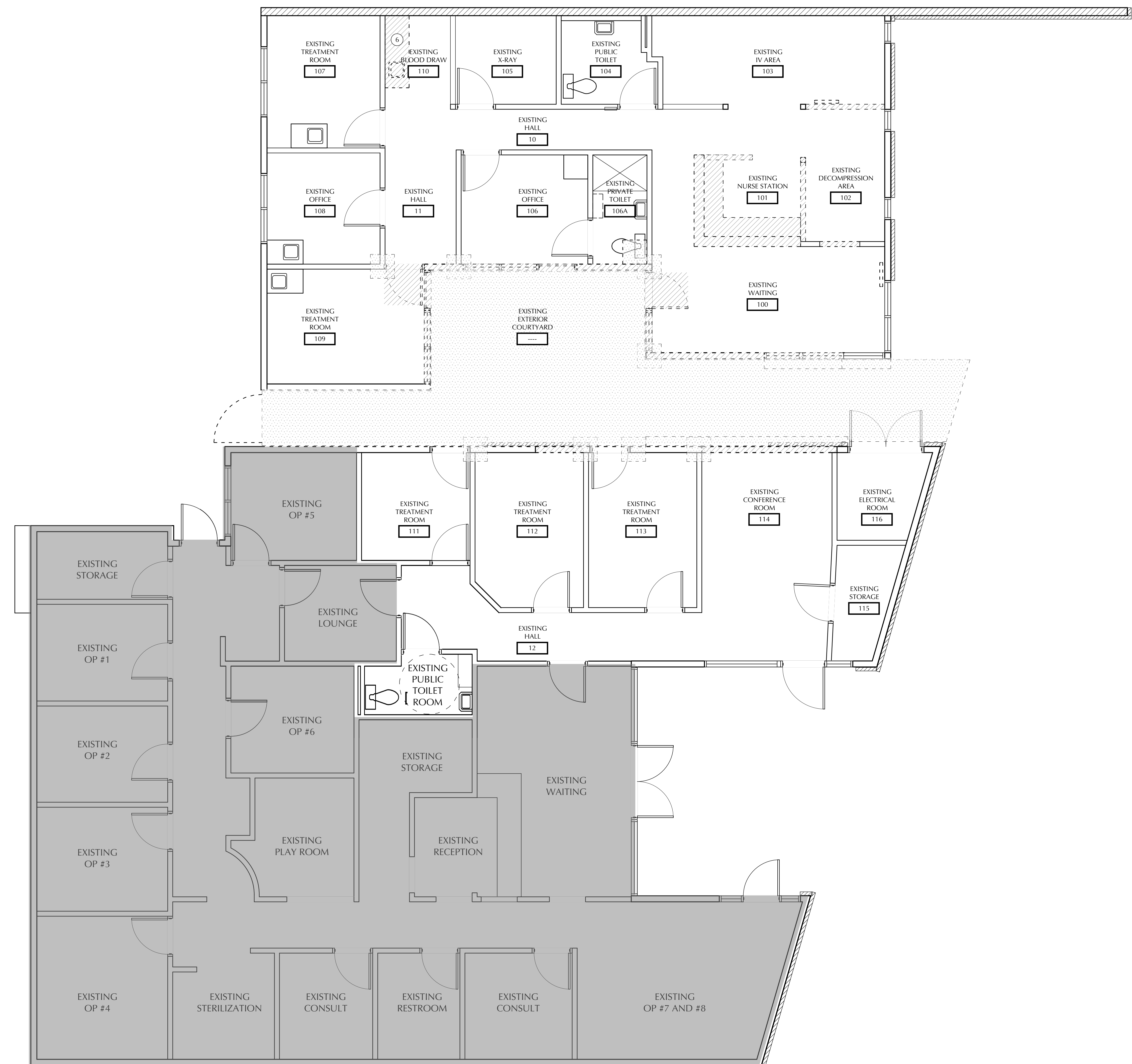
All designs, ideas arrangements and plans indicated by these drawings and specification are the property and copyright of the architect and shall neither be used on any other work or be disclosed to any other person for any use whatsoever without written permission from Mark J. Paone, AIA.

| | |
|--------------------|-------|
| Scale: | 20-33 |
| Job Number: | MJP |
| Project Architect: | RC |
| Drawn By: | MJP |
| Checked By: | |

Submission Date: xx-xx-2020

1:49 PM 2/23/21

PLAN APPROVAL STAMP:



DEMOLITION PLAN SYMBOLS

- ROOM NAME AND NUMBER
A100
- DEMOLISH EXISTING WALL, DOOR, WINDOW, CASEWORK, ETC
- DEMOLISH EXISTING CONCRETE SLAB
- AREA NOT IN SCOPE

Demolition Floor Plan

All designs, ideas arrangements and plans indicated by these drawings and specification are the property and copyright of the architect and shall neither be used on any other work or be disclosed to any other person for any use whatsoever without written permission from Mark J. Paone, AIA.

Scale: _____
 Job Number: 20-33
 Project Architect: MJP
 Drawn By: RC
 Checked By: MJP

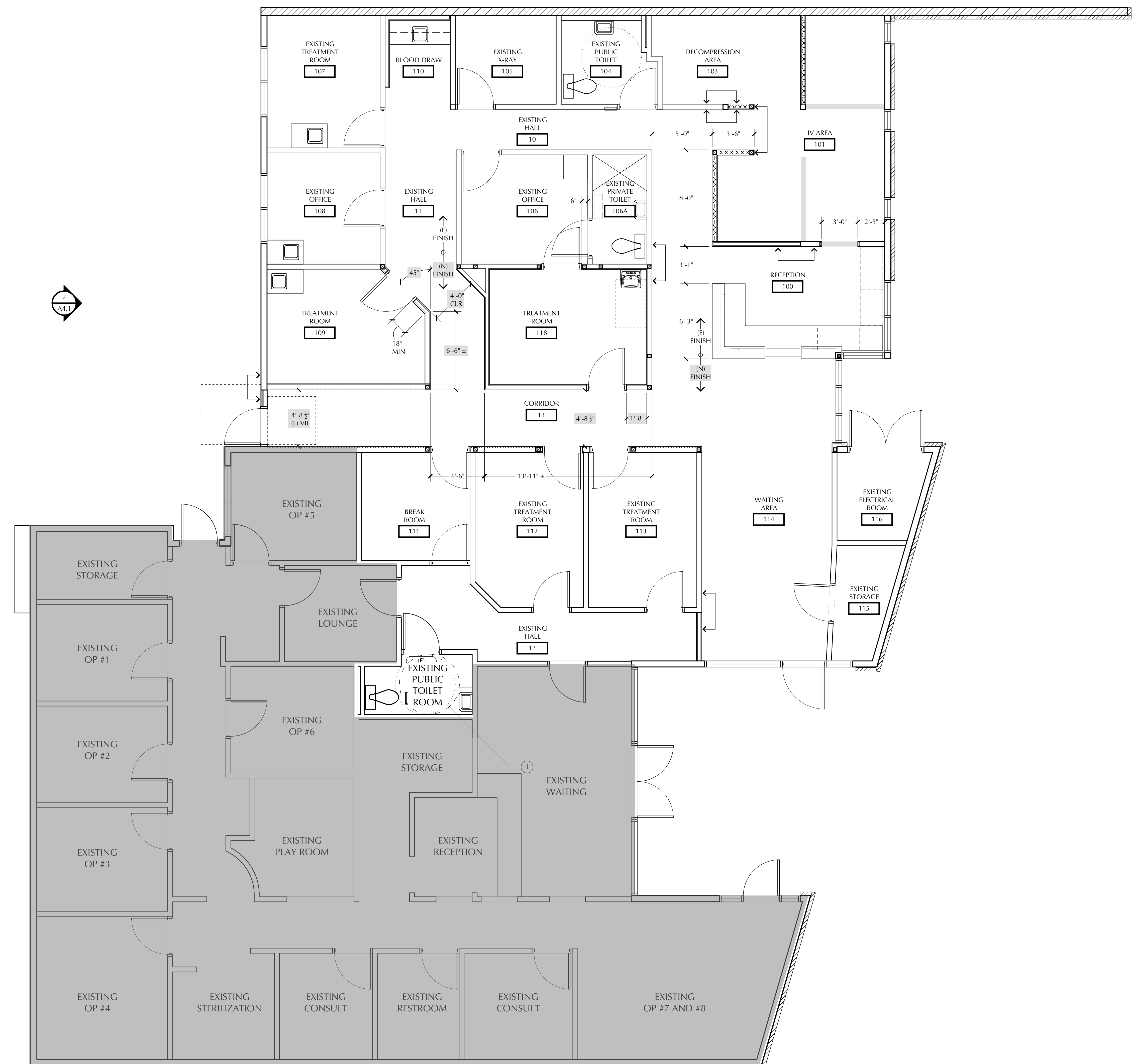
Submission Date: xx-xx-2020

1:49 PM 2/23/21

PLAN APPROVAL STAMP:

FLOOR PLAN SYMBOLS

| | |
|-----------|----------------------|
| ROOM NAME | ROOM NAME AND NUMBER |
| A100 | |
| | AREA NOT IN SCOPE |



Floor Plan

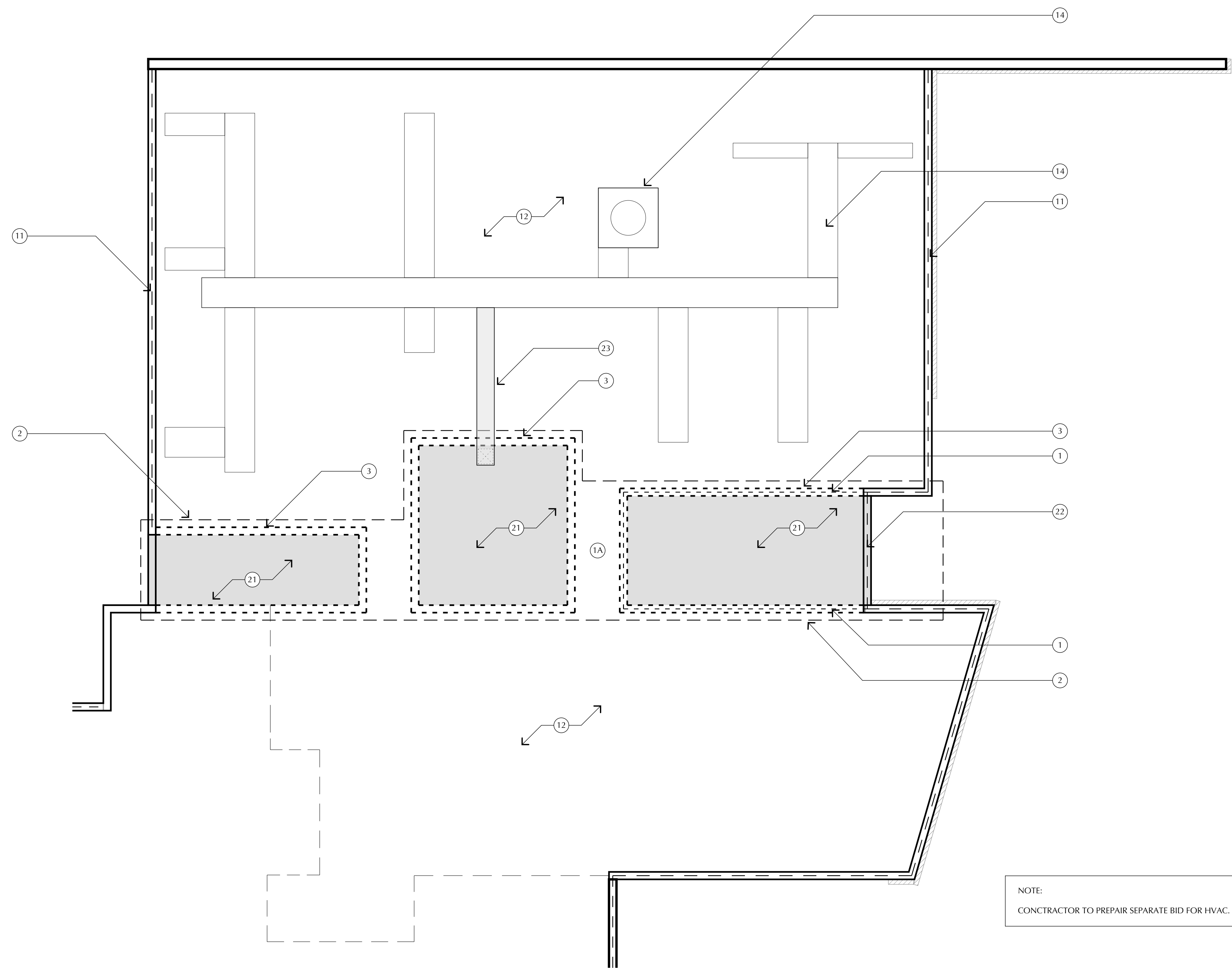
All designs, ideas arrangements and plans indicated by these drawings and specification are the property and copyright of the architect and shall neither be used on any other work or be disclosed to any other person for any use whatsoever without written permission from Mark J. Paone, AIA.

| | |
|--------------------|-------|
| Scale: | |
| Job Number: | 20-33 |
| Project Architect: | MJP |
| Drawn By: | RC |
| Checked By: | MJP |

Submission Date: xx-xx-2020

1:49 PM 2/23/21

PLAN APPROVAL STAMP:



NOTE:
CONTRACTOR TO PREPARE SEPARATE BID FOR HVAC.

ROOF PLAN GENERAL NOTES

1. EXISTING ROOF TO REMAIN.
2. CLEAN ALL ROOF DEBRIS AND PROPERLY DISPOSE.
3. MAINTAIN 1% SLOPE MINIMUM DOWN TOWARD ROOF DRAINS / SCUPPERS

ROOF PLAN LEGEND

NEW ROOF

ROOF PLAN KEYNOTES

- 1 REMOVE PORTION OF EXISTING ROOF SCREEN
- 1A RETAIN THIS PORTION OF EXISTING ROOF SCREEN FOR REINSTALLATION
- 2 REMOVE EXISTING FABRIC CANOPY ASSEMBLY
- 3 DEMOLISH EXISTING PARAPET TO ROOF DECK. PATCH AND REPAIR ROOF AS REQUIRED
- 11 EXISTING ROOF SCREEN TO REMAIN
- 12 EXISTING ROOF TO REMAIN
- 13 EXISTING ROOF DRAIN TO REMAIN
- 14 EXISTING MECHANICAL UNITS AND DUCTS TO REMAIN
- 21 NEW ROOF. MATCH EXSTING. PROVIDE FLUSH TRANSITION WHERE NEW ROOF MEETS EXISTING ROOF
- 22 REINSTALL PORTION OF EXISTING ROOF SCREEN
- 23 NEW HVAC SUPPLY DUCT

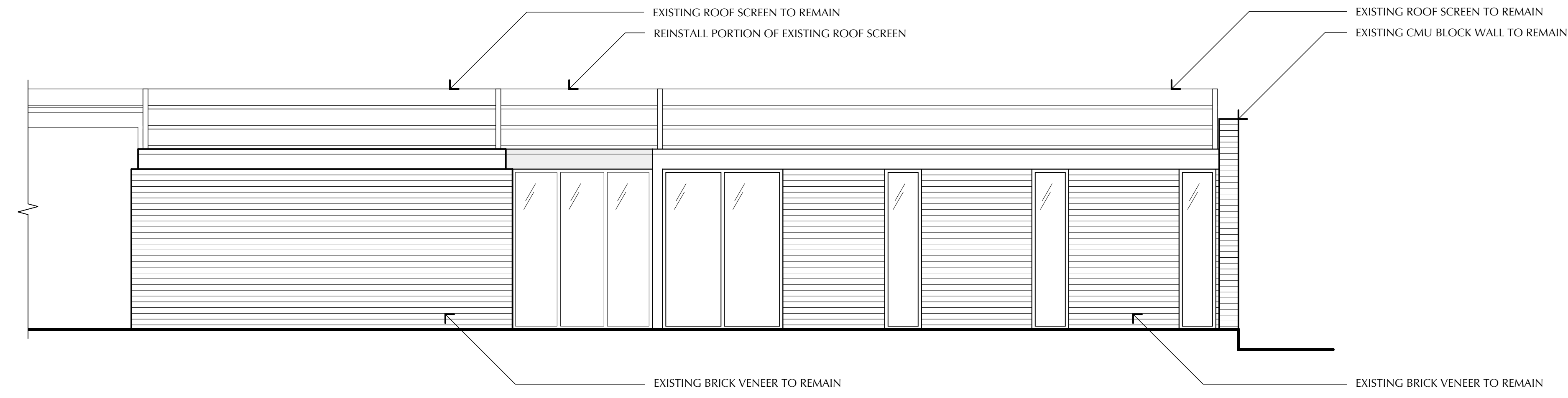
Roof Plan

All designs, ideas arrangements and plans indicated by these drawings and specification are the property and copyright of the architect and shall neither be used on any other work or be disclosed to any other person for any use whatsoever without written permission from Mark J. Paone, AIA.

Scale:
Job Number: 20-33
Project Architect: MJP
Drawn By: RC
Checked By: MJP

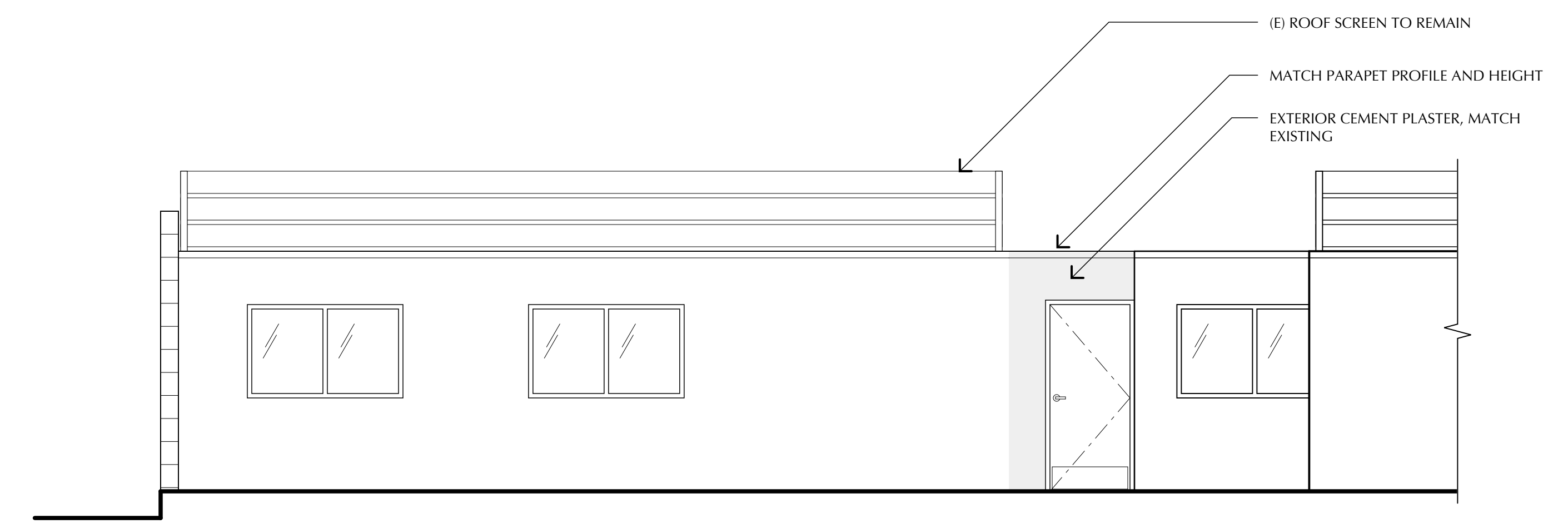
Submittal Date: xx-xx-2020

1:49 PM 2/23/21
PLAN APPROVAL STAMP:



EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

1



EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

2

Exterior Elevations
and Sections

All designs, ideas arrangements and plans indicated by these drawings and specification are the property and copyright of the architect and shall neither be used on any other work or be disclosed to any other person for any use whatsoever without written permission from Mark J. Paone, AIA.

| | |
|--------------------|-------|
| Scale: | |
| Job Number: | 20-33 |
| Project Architect: | MJP |
| Drawn By: | RC |
| Checked By: | MJP |

Submittal Date: xx-xx-2020

1:50 PM 2/23/21

PLAN APPROVAL STAMP: